



—THE ESTATES AT—
QUAIL RUN

SALES BY:

COAKLEY

MICHAEL P. ROSE
Ranked in the Top 1% of Realtors Nationwide
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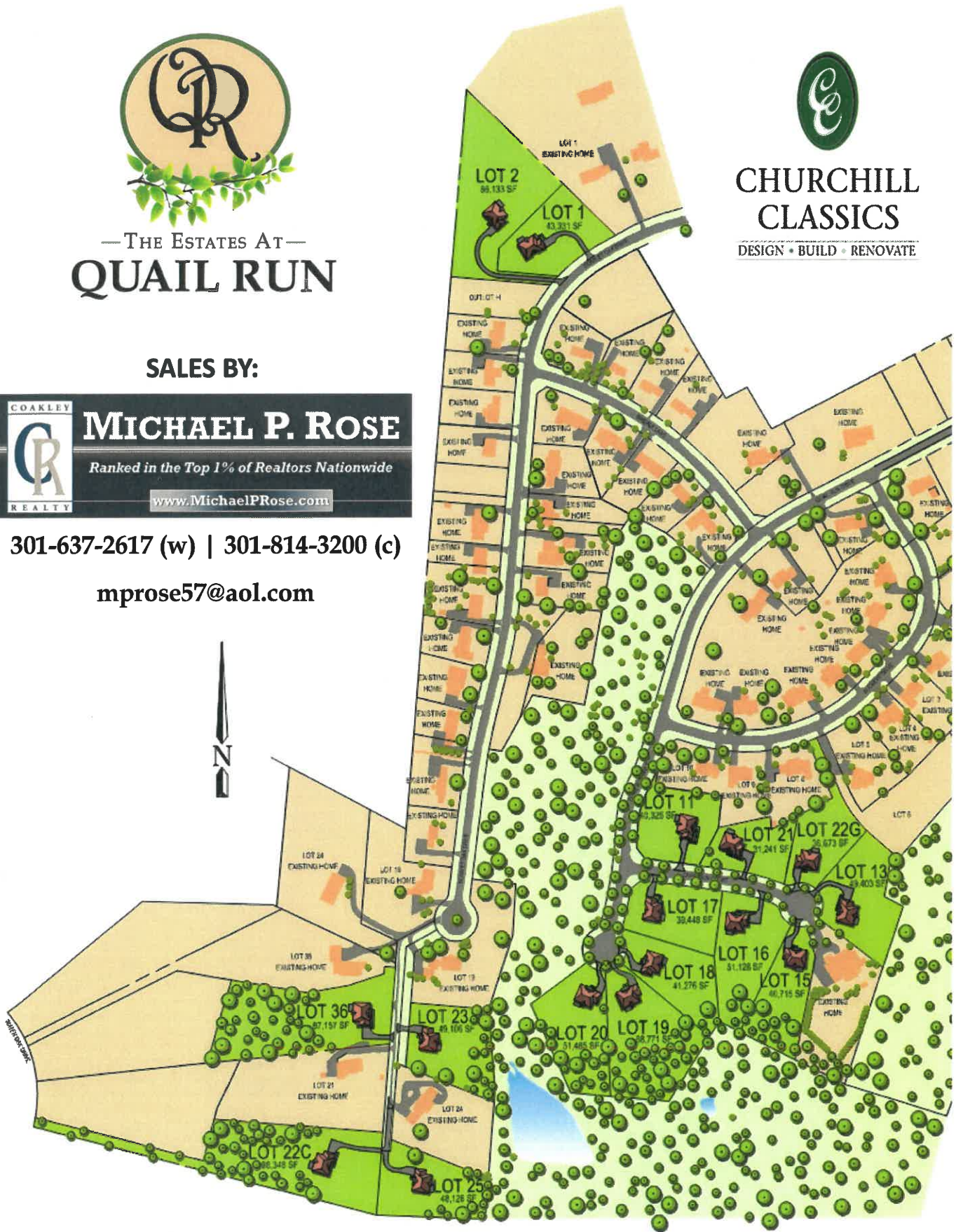
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CHURCHILL CLASSICS

DESIGN • BUILD • RENOVATE



NOTE: THIS EXHIBIT IS INTENDED FOR REPRESENTATIONAL PURPOSES ONLY.



THE ESTATES AT
QUAIL RUN



BASE SALES PRICES

| ADDRESS | SEPTIC | | | | | MODEL | ELEVAT. | ELEVAT. PRICE | TOTAL BASE SALES PRICE |
|------------------------------|-----------|----------|-------------|----------------|---------------|-----------------|----------|---------------|------------------------|
| | LOT | BLK | BRs | WALK-OUT | ACREAGE | | | | |
| 12909 QUAIL RUN COURT | 11 | G | 5 | No | 0.9253 | MILLIE | B | SPEC | \$ 1,938,667 |
| 12907 QUAIL RUN COURT | 21 | G | 6 | Partial | 0.7127 | MILLIE | A | \$ - | \$ 1,650,000 |
| 12905 QUAIL RUN COURT | 22 | G | 5 | Partial | 0.8413 | CHITO | A | \$ - | \$ 1,595,000 |
| 12901 QUAIL RUN COURT | 13 | G | 5 | Yes | 1.1353 | MILLIE | A | \$ - | \$ 1,800,000 |
| | | | | | | CHANDLER | A | \$ - | \$ 1,900,000 |
| 12902 QUAIL RUN COURT | 15 | G | 6 | Partial | 0.9347 | CHITO | A | \$ - | \$ 1,725,000 |
| | | | | | | CHANDLER | A | \$ - | \$ 1,925,000 |
| 12904 QUAIL RUN COURT | 16 | G | 6 | Yes | 1.1737 | MILLIE | A | \$ - | \$ 1,865,000 |
| | | | SOLD | | | CHANDLER | A | \$ - | \$ 1,965,000 |
| 12906 QUAIL RUN COURT | 17 | G | 6 | Partial | 0.9056 | CHANDLER | C | MODEL | \$ 2,274,622 |
| 15205 QUAIL RUN DRIVE | 18 | G | 4 | Partial | 0.9476 | CHITO | A | \$ - | \$ 1,690,000 |
| | | | | | | MILLIE | A | \$ - | \$ 1,790,000 |
| 15203 QUAIL RUN DRIVE | 19 | G | 5 | No | 1.5789 | CHITO | A | \$ - | \$ 1,765,000 |
| | | | | | | MILLIE | A | \$ - | \$ 1,865,000 |
| | | | | | | CHANDLER | A | \$ - | \$ 1,965,000 |
| 15201 QUAIL RUN DRIVE | 20 | G | 5 | No | 1.1820 | CHITO | A | \$ - | \$ 1,775,000 |
| | | | | | | MILLIE | A | \$ - | \$ 1,875,000 |
| | | | | | | CHANDLER | A | \$ - | \$ 1,975,000 |

NOTE: PRICES SUBJECT TO CHANGE WITHOUT NOTICE

LAST REVISED 2/24/2022



THE ESTATES AT
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LOT FEASIBILITY STUDY

2/22/2022

| ADDRESS | LOT # | BLK | SEPTIC BRs | WALK OUT | ACREAGE | POTENTIAL MODELS | AVAILABLE EXT. OPTIONS |
|-----------------------|-------|-----|------------|----------|---------|--------------------------|--|
| 12909 QUAIL RUN COURT | 11 | G | 5 | No | 0.9253 | MILLIE [Spec Home] | 2-Car Front-Load Garage Sunroom-Owners Retreat Rear Porch |
| 12907 QUAIL RUN COURT | 21 | G | 6 | Partial | 0.7127 | MILLIE | 2-Car Front Load 2-Car Side Load Rear Porch Sunroom-Owners Retreat |
| 12905 QUAIL RUN COURT | 22 | G | 5 | Partial | 0.8413 | CHITO | 2-Car Front Load Only Rear Porch Sunroom |
| 12901 QUAIL RUN COURT | 13 | G | 5 | Yes | 1.1353 | MILLIE CHANDLER | ALL OPTIONS 2-Car Front Load Only Rear Porch Sunroom-Owners Retreat |
| 12902 QUAIL RUN COURT | 15 | G | 6 | Partial | 0.9347 | CHITO CHANDLER | 2 or 3-Car Front Load All Other Options 2-Car Front Load Only All Other Options |
| 12904 QUAIL RUN COURT | 16 | G | 6 | Yes | 1.1737 | MILLIE CHANDLER | ALL OPTIONS ALL OPTIONS |
| 12906 QUAIL RUN COURT | 17 | G | 6 | Partial | 0.9056 | CHANDLER [Model Home] | 2-Car Side Load Garage Rear Porch 3rd Floor Loft |
| 15205 QUAIL RUN DRIVE | 18 | G | 4 | Partial | 0.9476 | CHITO MILLIE | ALL OPTIONS ALL OPTIONS |
| 15203 QUAIL RUN DRIVE | 19 | G | 5 | No | 1.5789 | ALL MODELS | ALL OPTIONS |
| 15201 QUAIL RUN DRIVE | 20 | G | 5 | No | 1.1820 | ALL MODELS | ALL OPTIONS |



Square Footage Calculations

CHITO

| | |
|------------------------------------|----------------|
| Above Grade | 3817 sq. ft. |
| Opt. Sunroom | 192 sq. ft. |
| Opt. 3rd Floor Loft | 559 sq. ft. |
| Fully Finished Basement (Per Plan) | 1441 sq. ft. |
| Opt. Sunroom Basement Space | 174 sq. ft. |
| Opt. Rear Covered Porch | Varies sq. ft. |

MILLIE

| | |
|------------------------------------|----------------|
| Above Grade | 4428 sq. ft. |
| Opt. Sunroom | 192 sq. ft. |
| Opt. Owner's Retreat | 192 sq. ft. |
| Opt. 3rd Floor Loft | 620 sq. ft. |
| Fully Finished Basement (Per Plan) | 1818 sq. ft. |
| Opt. Sunroom Basement Space | 171 sq. ft. |
| Opt. Rear Covered Porch | Varies sq. ft. |

CHANDLER

| | |
|------------------------------------|----------------|
| Above Grade | 4909 sq. ft. |
| Opt. Sunroom | 257 sq. ft. |
| Opt. Owner's Retreat | 257 sq. ft. |
| Opt. 3rd Floor Loft | 558 sq. ft. |
| Fully Finished Basement (Per Plan) | 1913 sq. ft. |
| Opt. Sunroom Basement Space | 232 sq. ft. |
| Opt. Rear Covered Porch | Varies sq. ft. |



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MILLIE



SPEC HOME | Lot 11 G | 12909 Quail Run Court

- 5 Bedrooms | 4 Bathrooms
- 4,812 sf above grade; 1,989 sf unfinished lower level
- Elevation B-1—Siding, brick water table, and 2-car front-load garage
- Georgian double front porch—Access to upper porch from both front bedrooms
- Main level in-law bedroom suite
- Sunroom off of great room
- Owner's retreat off of owner's suite
- Rear covered porch
- Kitchen cabinetry: Coventry cabinetry—White with espresso color for island and butlers pantry
- Kitchen appliances—GE Profile Stainless Steel
- Bath Cabinetry: Coventry cabinetry in all baths and laundry—Gray in Owners suite, espresso in powder room, and white elsewhere
- Upgrade: Lower level oak stairs and rails.
- Schlage door hardware—Siena door knobs with Addison backplates
- Lighting fixtures—Satin nickel throughout with chrome in baths
- Bath fixtures and accessories—Kayra series in chrome

List Price | \$1,938,667

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MODEL HOME | Lot 17 G | 12906 Quail Run Court

- 6 Bedrooms | 7.5 Bathrooms
- 5,467 sf above grade; 1,913 sf below grade
- Elevation C-6—Siding, stone water table, and 2-car side-load garage
- Fully working wood paneled elevator
- Front stone porch and rear covered porch with Timber Tech flooring
- Finished 3rd floor loft and finished lower level
- Upgrade-2: Kitchen Appliances—GE Monogram
- Upgrade-2: Kitchen elevation—Stacked cabinetry plus LED under cabinet lighting
- Upgrade/Option-1: Avalon Kitchen cabinetry
- Upgrade: Ruvati sink in kitchen and Trinsic-Champagne Bronze kitchen faucet
- Upgrade/Option1: Avalon cabinetry in all baths, loft, laundry, and basement
- Coffered ceiling in Great Room
- Box ceiling in Owner's BR suite
- Optional laundry cabinets, sink, W&D
- Upgrade: Lower level Oak stairs and rails.
- Optional basement wet bar
- Upgrade/Option-1: Avalon cabinetry wet bar
- Upgrade door hardware-Alexandria door knobs with Alden backplate
- Upgrade 4: Hardware for kitchen and butlers pantry--Honey bronze pulls and knobs
- Upgrade: Lighting fixtures—Aged Brass
- Upgrade: Bath fixtures and accessories—Cassidy series in Champagne Bronze
- Upgrade: Fireplace surround—Granite
- Finished and trimmed garage

List Price | \$2,274,622



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CHITO



Elevation C



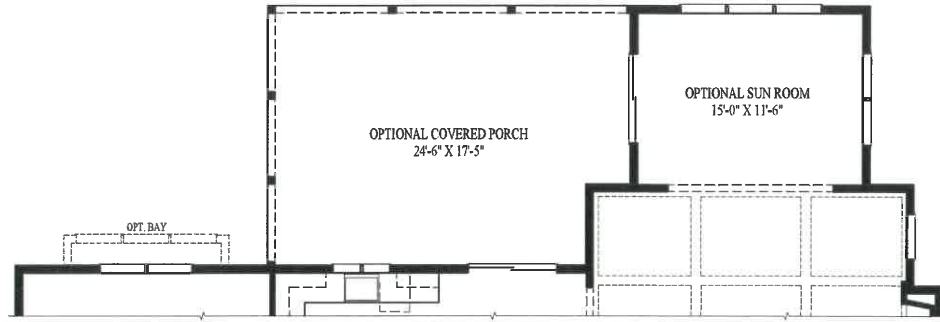
Elevation A



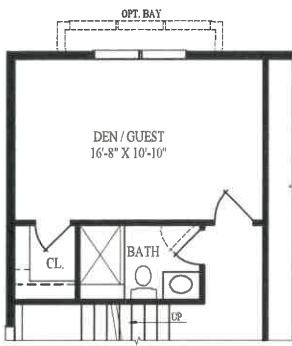
Elevation B

Renderings Only - Subject to change

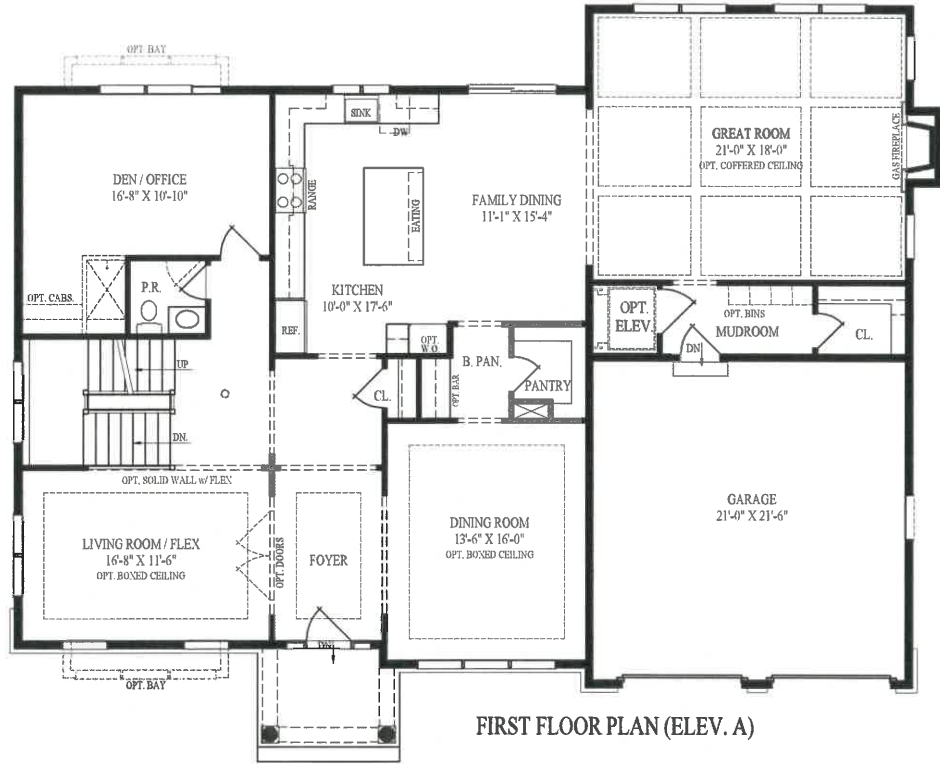
FIRST FLOOR FLOORPLAN



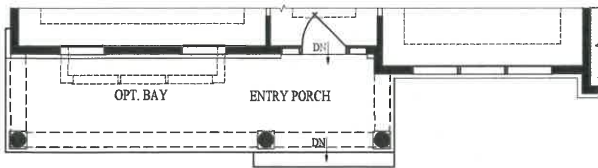
OPTIONAL SUNROOM & COVERED PORCH



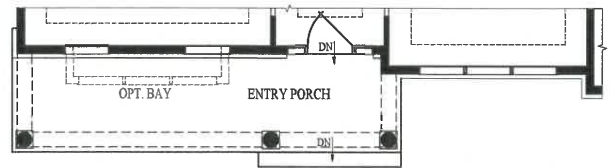
OPT. FULL BATH & CLOSET



FIRST FLOOR PLAN (ELEV. A)

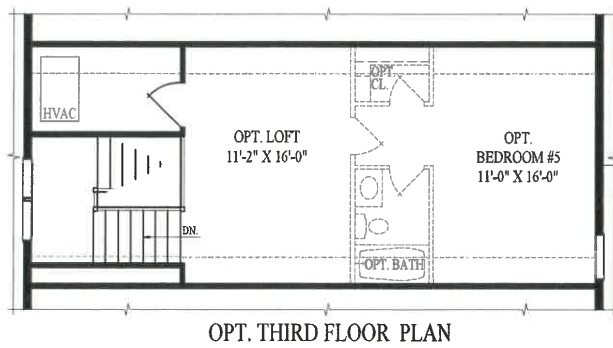
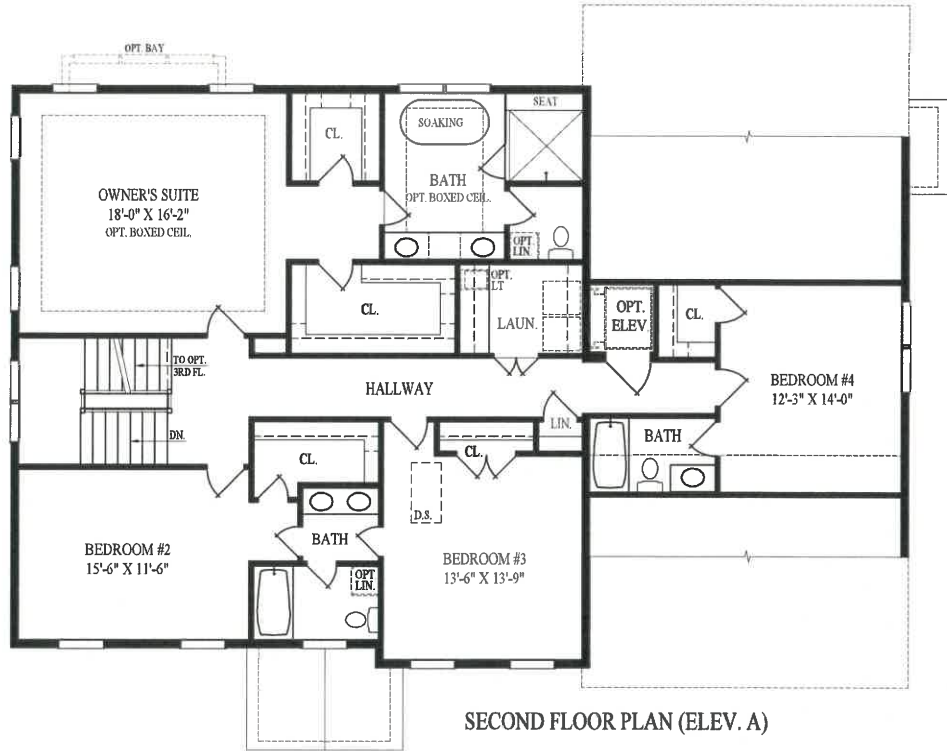


OPT. PORCH LAYOUT (ELEV B)



OPT. PORCH LAYOUT (ELEV C)

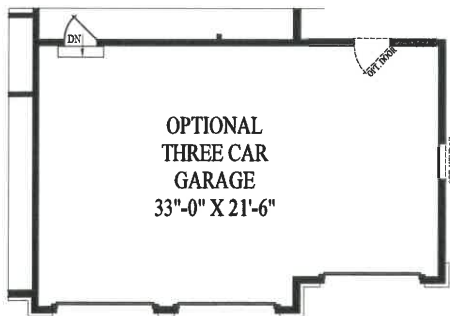
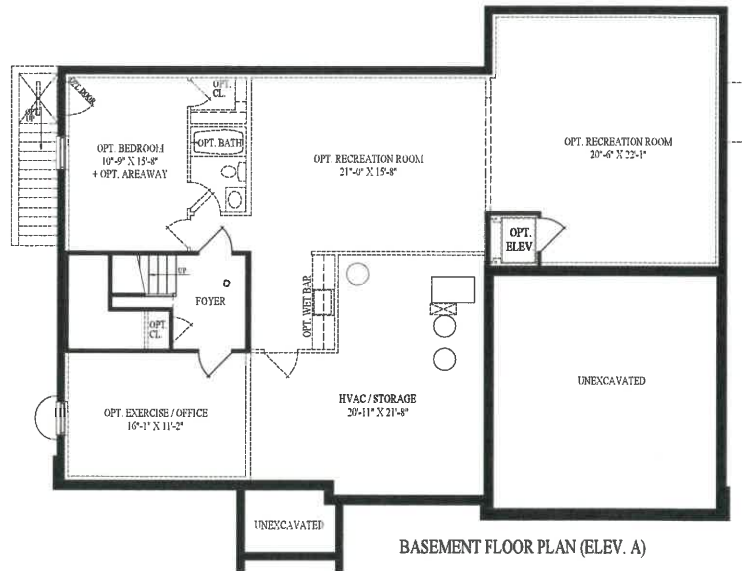
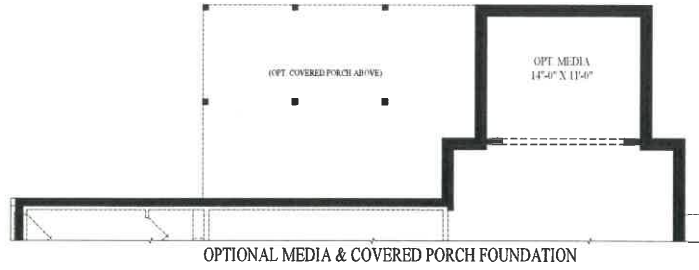
SECOND FLOOR FLOORPLAN



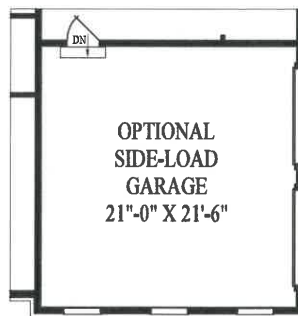
Floorplans Subject to Change



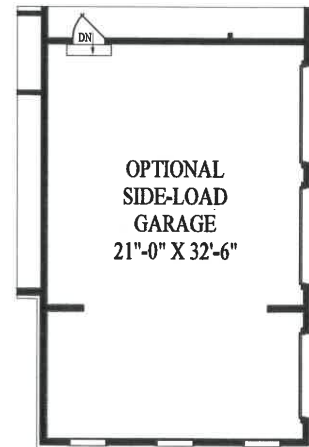
BASEMENT FLOORPLAN



OPTIONAL 3 - CAR
GARAGE



OPTIONAL SIDE-LOAD
GARAGE



OPTIONAL 3-CAR SIDE-LOAD
GARAGE



Floorplans Subject to Change



—THE ESTATES AT—
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MILLIE



Elevation B



Elevation A



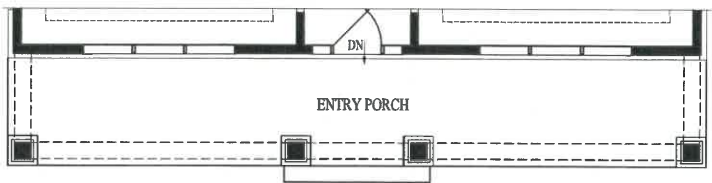
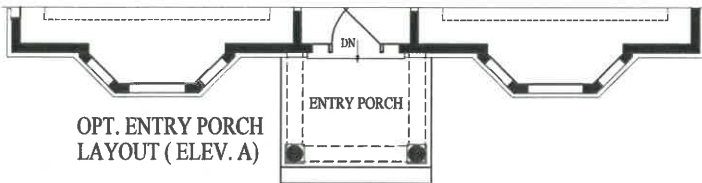
Elevation C

Renderings Only - Subject to change

FIRST FLOOR FLOORPLAN



FIRST FLOOR PLAN (ELEV. B)



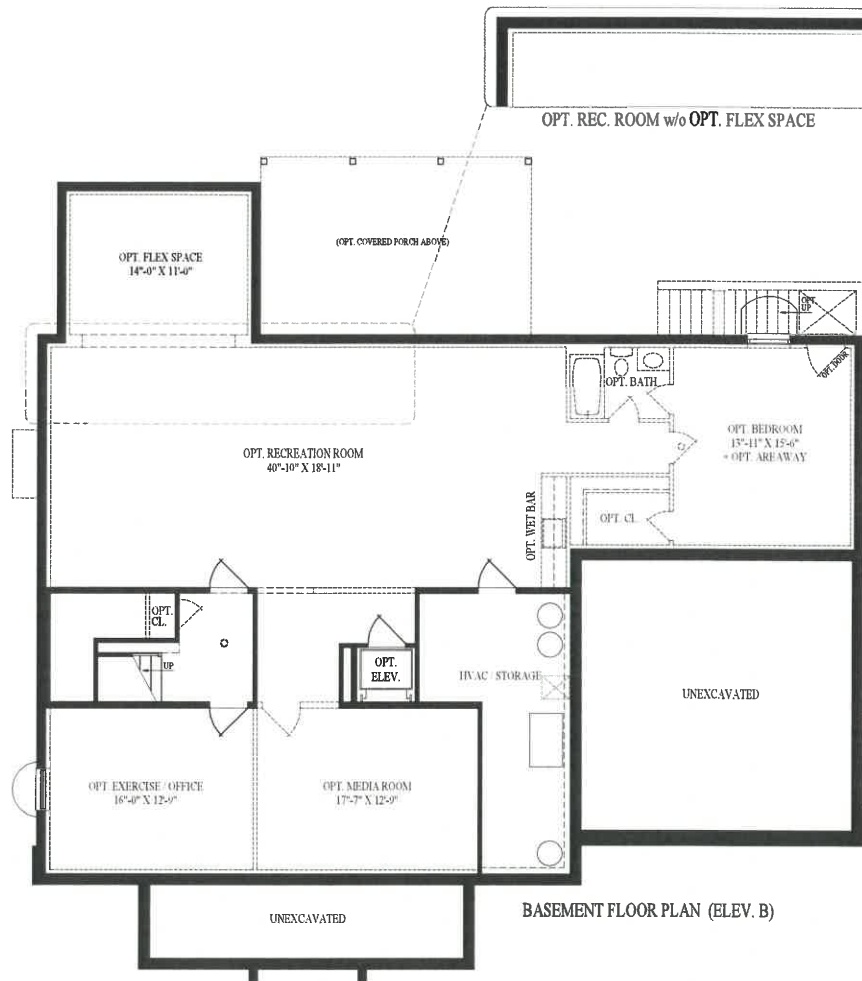
Floorplans Subject to Change



SECOND FLOOR FLOORPLAN



BASEMENT FLOORPLAN



OPTIONAL 3-CAR



OPTIONAL SIDE-LOAD GARAGE



Floorplans Subject to Change



— THE ESTATES AT —
QUAIL RUN

CHANDLER



Elevation C



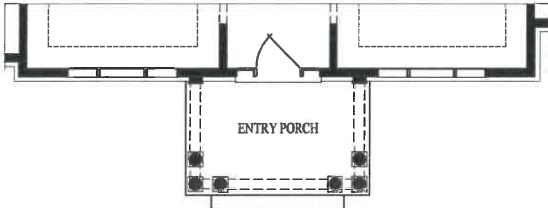
Elevation A



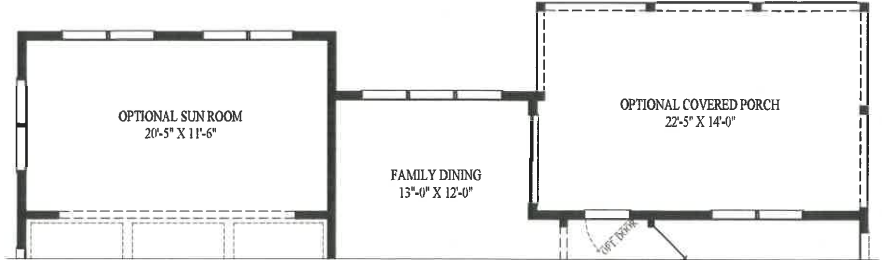
Elevation B

Renderings Only - Subject to change

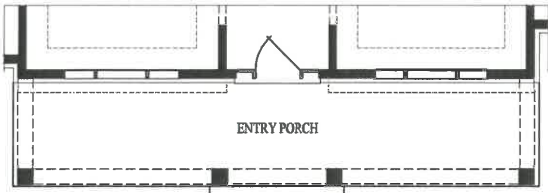
FIRST FLOOR FLOORPLAN



OPTIONAL PORCH LAYOUT (ELEV B)



OPTIONAL SUNROOM & COVERED PORCH

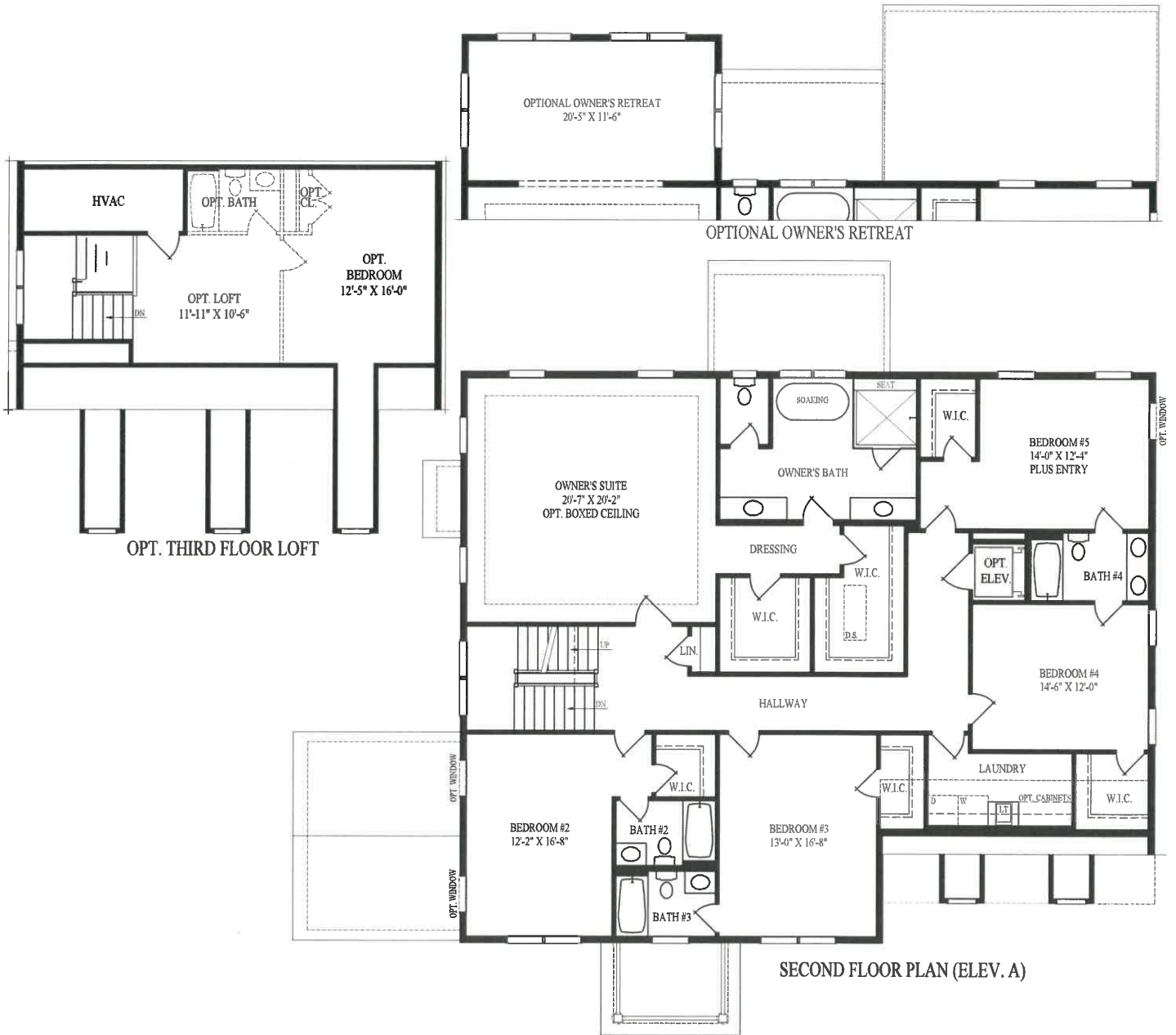


OPTIONAL PORCH LAYOUT (ELEV C)

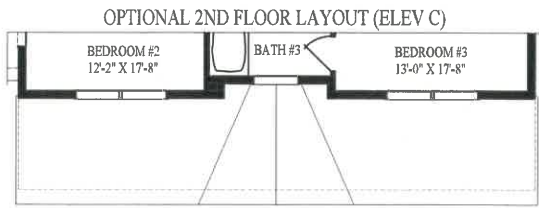


FIRST FLOOR PLAN (ELEV. A)

SECOND FLOOR FLOORPLAN



SECOND FLOOR PLAN (ELEV. A)



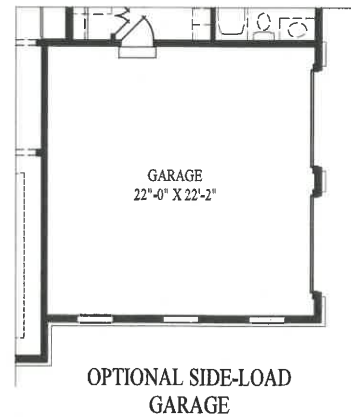
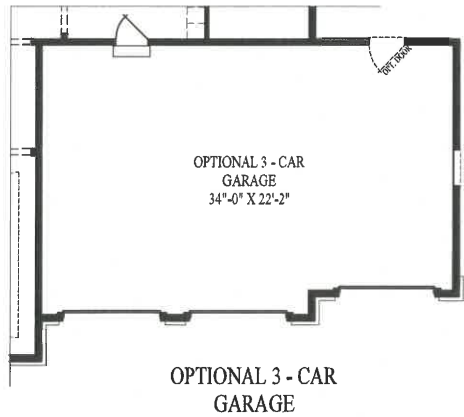
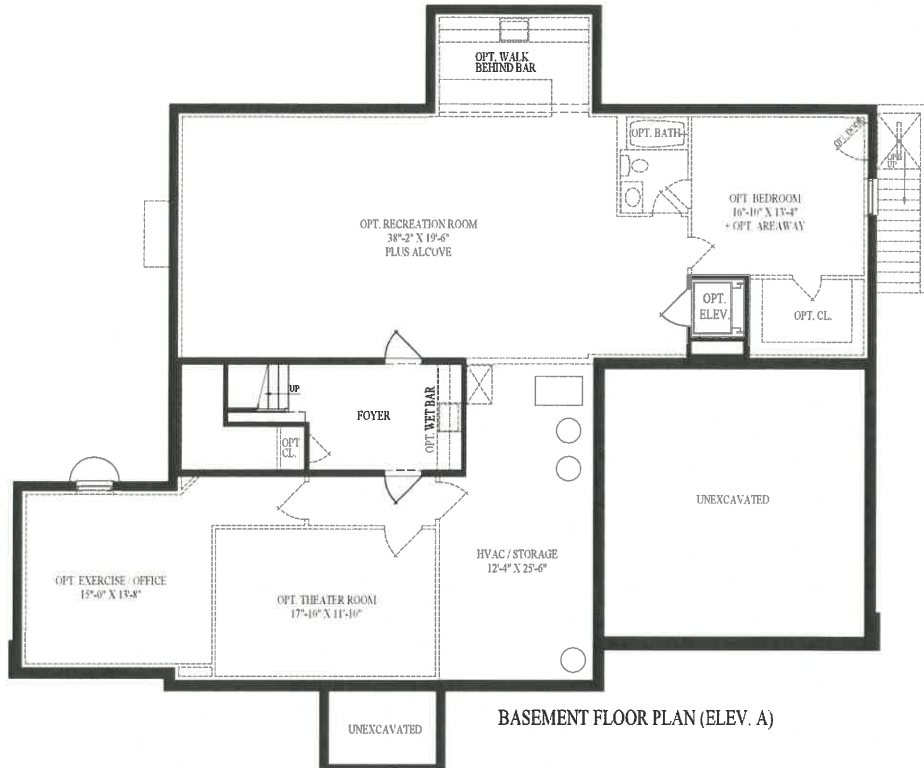
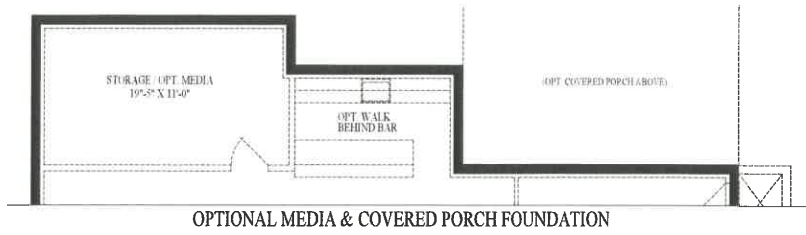
OPTIONAL 2ND FLOOR LAYOUT (ELEV. C)



Floorplans Subject to Change



BASEMENT FLOORPLAN



Floorplans Subject to Change



The Estates at Quail Run Standard Features



Custom-Designed Exterior Features

- ¾ to 2+ acres lots with public water & septic
- **CertainTeed** Landmark asphalt roof shingles with **lifetime limited** warranty
- Designer selected exterior colors
- Brick to grade front watertable
- Professionally designed landscape package
- Easy care **CertainTeed**, D5 vinyl siding
- Nickel finish **Schlage** deadbolt locksets on all exterior doors
- Oversized two-car front/side load garage with eight-foot-high doors and asphalt driveway (per plan)
- Two frost free hose bibs with drain-down valves
- Two outdoor electrical receptacles
- Custom-designed mailbox

Kitchen Appointments

- Spacious kitchen with dine-in breakfast area
- 42-inch Carriage House cabinetry
- Center work island with granite countertop
- Single oversized sink with **Delta** single-lever faucet with sprayette and soap dispenser
- **GE PROFILE** appliance package
- Recessed lighting throughout
- Granite countertops with choice of color and finish
- Built-in pantry
- Engineered prefinished hardwood floors

Custom-Designed Interior Features

- Ten-foot (10') ceilings on main level; nine-foot (9') on upper and lower levels
- Floor plans with 3.5 to 5.5 baths
- Three-piece rough-in full bath in basement
- Engineered hardwood flooring on entire first floor excluding the office/den
- Plush wall-to-wall soil-resistant carpeting
- Tile flooring in laundry and mudroom
- Oak staircase on main stairs with stained oak railings and painted balusters
- Elegant oversized colonial crown molding throughout first level and upper hall
- Two-panel **Colonist Masonite** doors throughout
- Two-tone custom **McCormick** paint
- **Schlage** nickel finish door hardware
- 42-inch gas direct vent fireplace with mantel and slate surround in family room
- Three Cat 5-e telephone outlets and two RG6-TV outlets
- Laundry room with washer and dryer hookups on 2nd floor
- Smoke detectors with battery back-up on all levels and in all bedrooms
- CO2 detectors on all levels
- Spacious walk-in closet(s) in owner's suite

This standard features list applies to our homes at The Estates at Quail Run. Although all illustrations and specifications are believed correct at time of publication, accuracy cannot be guaranteed. Churchill Classics, LLC. reserves the right to make changes without notice or obligation.

1/23/2022

1395 Piccard Drive, Suite 170, Rockville, MD 20850 Telephone: 240-243-1000 Fax: 240-243-0715 www.churchillbuilders.com MHBR. No 7334



The Estates at Quail Run Standard Features



Owner's Bath Details

- 35-inch tall vanities with granite counter tops and undermount porcelain sinks
- Dual undermount sinks
- Oversized walk-in shower with frameless glass enclosure and stand-alone soaking tub
- Ceramic tile flooring
- Water saving commode with elongated toilet
- **Delta** brushed nickel faucets and bath fixtures

Luxurious Bath Details

- 35-inch tall vanities with granite tops and undermount porcelain sink in all secondary baths
- Porcelain on steel tub in hall baths
- Ceramic tile flooring in all baths
- All baths include water saving commodes with elongated toilet
- **Delta** brushed nickel faucets and bath fixtures

Quality Construction Features

- Engineered floor joist system
- ¾-inch T & G plywood sub floor-*glued, nailed and screwed*
- Complete sub-slab ventilation system
- **BF Goodrich Flow Guard Gold**, CPVC water lines
- **Glued, nailed and screwed** drywall throughout
- **Durock** tile backer on shower walls, bath floors, and laundry room floors
- Indoor fire protection sprinkler system

Energy Efficient & Smart Features

- Rez Net rated certification
- Maintenance-free, single-hung, insulated, double-pane, **Low-E**, tilt windows
- High-efficiency two-zone 95+ gas heat on 1st and lower levels; heat pump on second level.
- Two smart programmable thermostats
- Insulated six-panel front door with electronic **Schlage** Bluetooth lockset
- **Delta** energy-saving faucets and shower heads
- **Quick-Recovery**, high-efficiency, 75-gallon gas water heater
- **R-49** insulation in attic
- **R-21** insulation on exterior framed walls
- "**Dow Weathermate Plus**" housewrap over OSB exterior sheathing
- All exterior walls 2x6 framing for maximum insulation

Personalized Services and Warranties

- Dedicated team of sales consultants
- Pre-construction meeting with personal builder
- Pre-drywall inspection
- Pre-settlement demonstration
- 60-day post-settlement walk-through inspection
- New-construction warranty: 1-year workmanship; 2-year mechanical, 10-year structural
- One-year termite treatment warranty

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